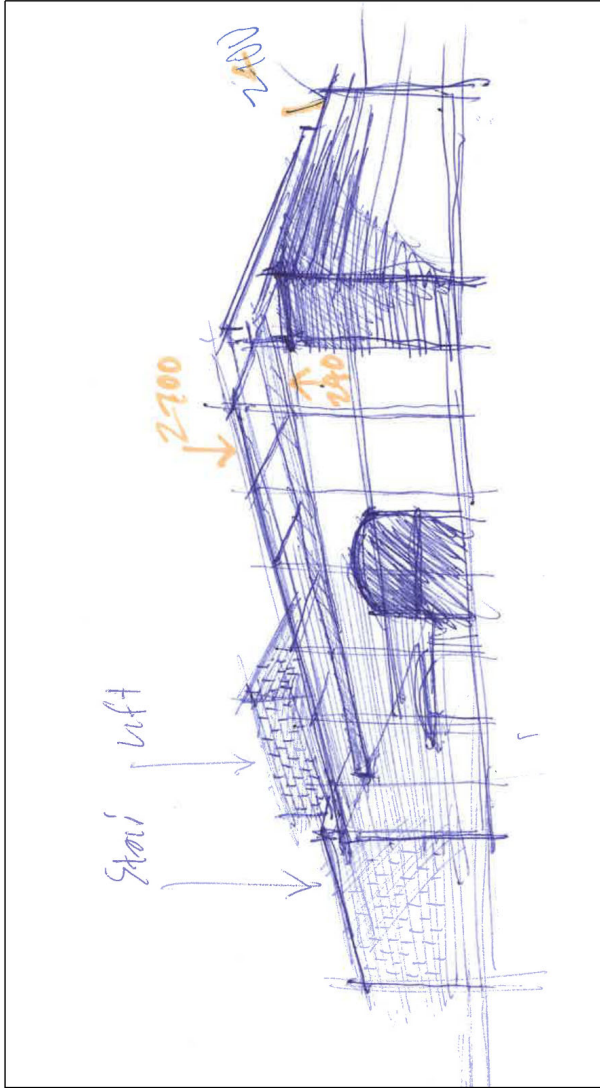


Attachment A

Selected Drawings



**DEVELOPMENT APPLICATION PROPOSAL
FOR NO. 11/10 ONSLOW AVENUE, ELIZABETH BAY**

LIST OF DRAWINGS

DATE	REVISION	TITLE
14/06/2018	DA-A SKETCH DESIGN ISSUE	CONTEXT IDENTIFICATION PLAN DA-B 001
06/10/2018	DA-A SKETCH DESIGN ISSUE	SITE ANALYSIS PLAN DA-B 002
07/08/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)	SITE PLAN DA-B 003
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	EXISTING UNIT PLAN DA-B 004
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	UNIT 11 FLOOR PLAN DA-B 101
		PENTHOUSE FLOOR PLAN DA-B 102
		ROOF PLAN DA-B 103
		ELEVATION EAST & WEST DA-B 201
		ELEVATION NORTH DA-B 202
		ELEVATION SOUTH DA-B 203
		DETAIL ELEVATIONS DA-B 204
		CROSS SECTION DA-B 301
		AREAS SCHEDULE DA-B 401
		DESIGN CONCEPT & DEVELOPMENT DA-B 601
		DESIGN CONCEPT & DEVELOPMENT DA-B 602
		MATERIALS & FINISHES DA-B 603
		STREET VIEW ANALYSIS DA-B 701
		SHADOWS MID-WINTER DA-B 801
		MID-WINTER VIEW FROM THE SUN 0900 DA-B 802
		MID-WINTER VIEW FROM THE SUN 1000-1100 DA-B 803
		MID-WINTER VIEW FROM THE SUN 1200-1300 DA-B 804
		MID-WINTER VIEW FROM THE SUN 1400-1500 DA-B 805
		SHADOWS EQUINOX DA-B 901
		EQUINOX VIEW FROM THE SUN 0900 DA-B 902
		EQUINOX VIEW FROM THE SUN 1000-1100 DA-B 903
		EQUINOX VIEW FROM THE SUN 1200-1300 DA-B 904
		EQUINOX VIEW FROM THE SUN 1400-1500 DA-B 905

ARCHITECT

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 NSW Architects Registration No. 5982

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BASIX / MATERS CERTIFICATION
 swc01 swc02 swc03 swc04 swc05 swc06 swc07 swc08 swc09 swc10 swc11 swc12 swc13 swc14 swc15 swc16 swc17 swc18 swc19 swc20 swc21 swc22 swc23 swc24 swc25 swc26 swc27 swc28 swc29 swc30 swc31 swc32 swc33 swc34 swc35 swc36 swc37 swc38 swc39 swc40 swc41 swc42 swc43 swc44 swc45 swc46 swc47 swc48 swc49 swc50 swc51 swc52 swc53 swc54 swc55 swc56 swc57 swc58 swc59 swc60 swc61 swc62 swc63 swc64 swc65 swc66 swc67 swc68 swc69 swc70 swc71 swc72 swc73 swc74 swc75 swc76 swc77 swc78 swc79 swc80 swc81 swc82 swc83 swc84 swc85 swc86 swc87 swc88 swc89 swc90 swc91 swc92 swc93 swc94 swc95 swc96 swc97 swc98 swc99 swc100

NOTES
 FOR DEVELOPMENT APPLICATION ONLY
 NOT FOR CONSTRUCTION
 This drawing is to be read in conjunction with other consultants drawings and reports.
 All work is based on the information provided to us by the client.

DATE **REVISION** **TITLE**

14/06/2018	DA-A SKETCH DESIGN ISSUE	PROJECT
06/10/2018	DA-A SKETCH DESIGN ISSUE	ALTS & ADDS TO EXISTING APARTMENT
07/08/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	STAGE
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	DEVELOPMENT APPLICATION

CLIENT MR. PATRICK LANE

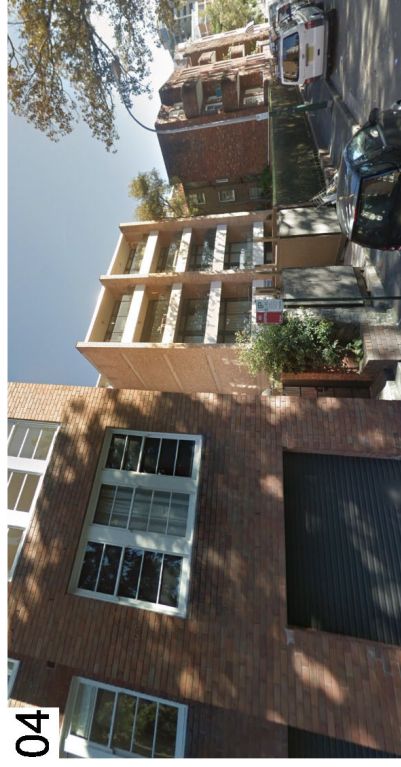
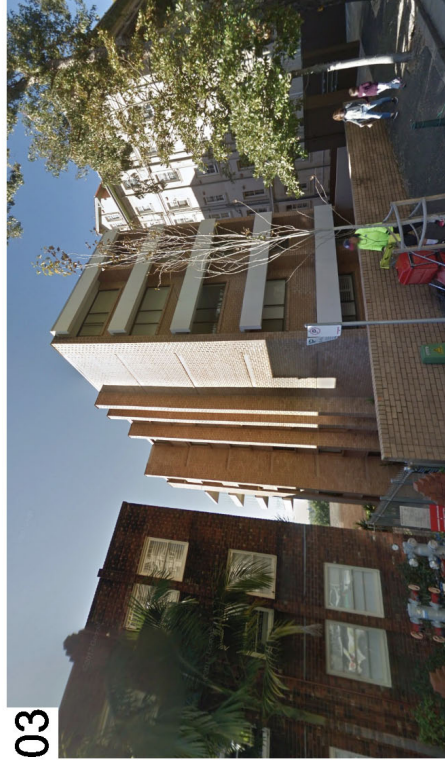
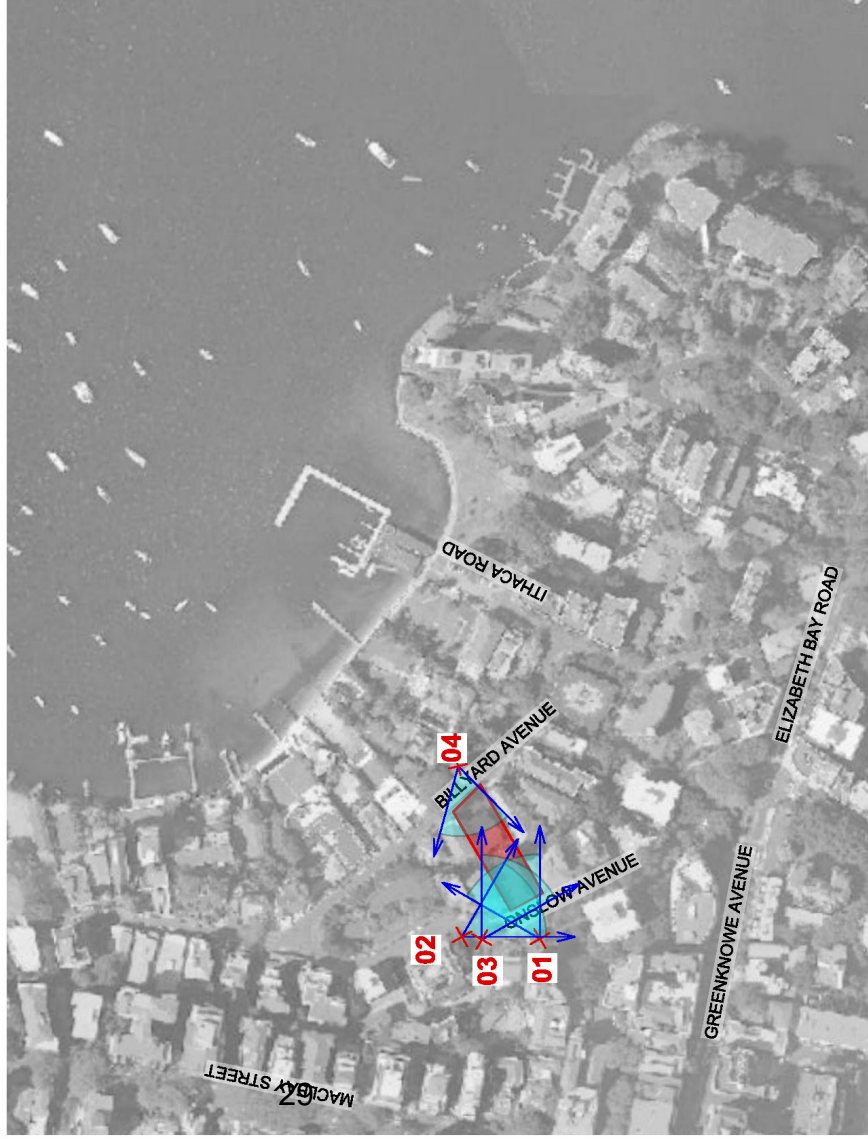
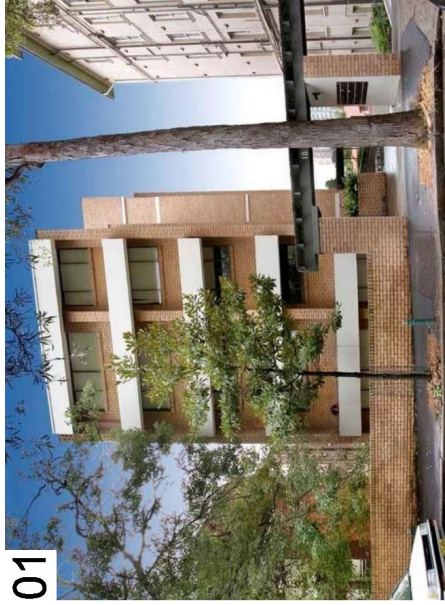
SCALE [CL/H/C]

ISSUE **B**

DA **000**

VIEWS

- 01 Elevational view of the subject site, looking from across the street along Onslow Avenue.
- 02 Streetview perspective looking in a southerly direction along Onslow Avenue, with the subject site evident on the left of the image.
- 03 Streetview approach to the site along Onslow Avenue, looking upward toward the building.
- 04 Streetview approach in a northerly direction looking at the Billyard Avenue entry to the subject site.



ARCHITECT



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email@cracknellonergan.com.au

BASIX / MATHERS CERTIFICATION

sw01 | external louvreblind (adjustable)
sw02 | external louvreblind (adjustable)
NE01 | external louvreblind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION
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All views are based on current information and are subject to change without notice.

DATE REVISION

14/06/2018 DA-A SKETCH DESIGN ISSUE
06/10/2018 DA-A SKETCH DESIGN ISSUE
07/03/2019 DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)
13/06/2019 DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE
22/10/2019 DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI

TITLE CONTEXT IDENTIFICATION PLAN


PROJECT ALTS & ADDS TO EXISTING APARTMENT
ADDRESS UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE DEVELOPMENT APPLICATION
CLIENT MR. PATRICK LANE

DA 001

ISSUE B

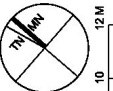
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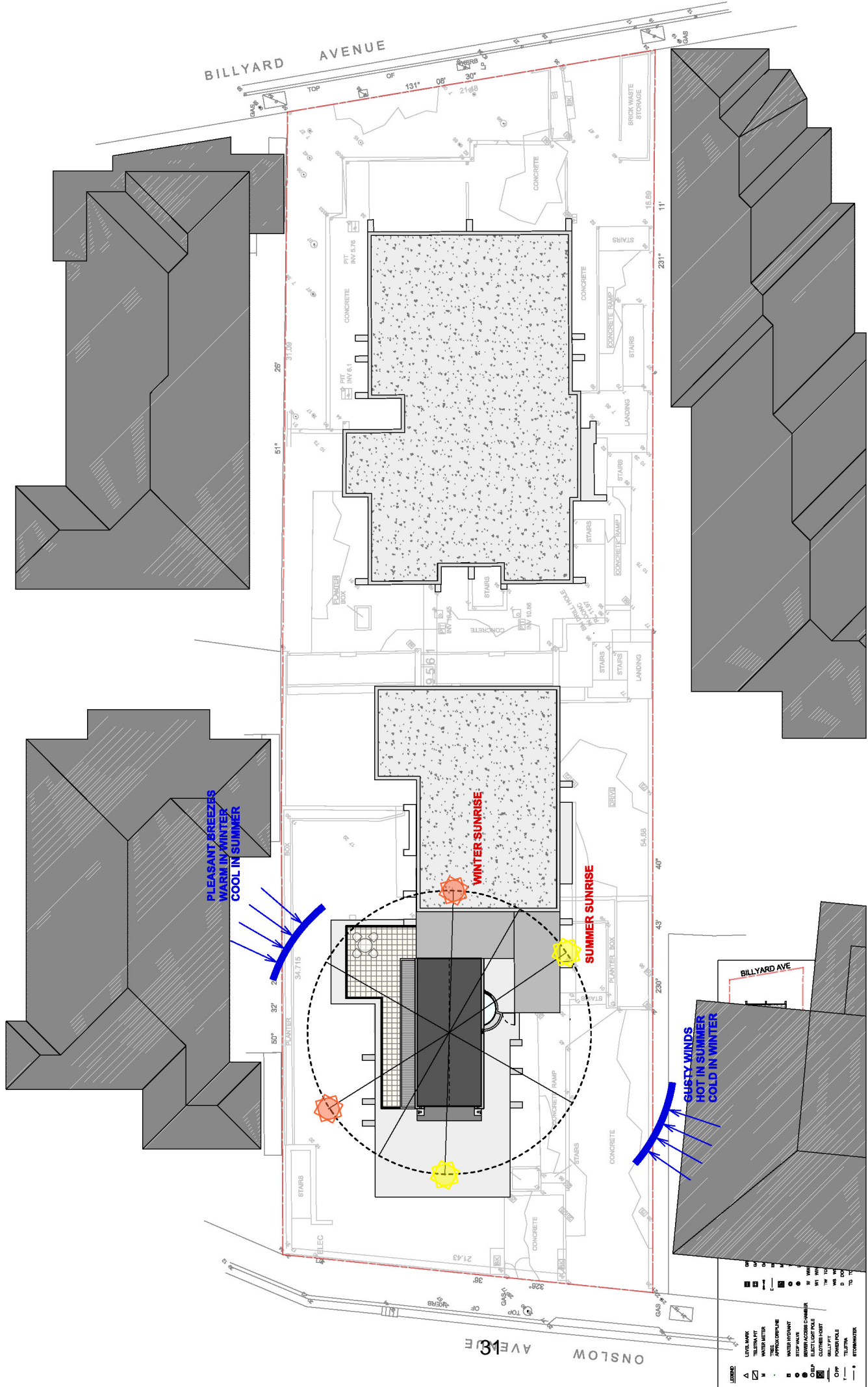


ARCHITECT  CRACKNELL & LONERGAN ARCHITECTS PTY LTD ARN 55 100 940 501 New South Wales Architectural NSW Architects Registration No. 5983 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1654 email@cracknellonergan.com.au	ARCHITECT MR. PATRICK LANE	CLIENT MR. PATRICK LANE	SCALE 1:200 @A3, 1:100@A1	DATE 22/10/2019	REVISION DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	DATE 13/06/2019	REVISION DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	DATE 07/08/2019	REVISION DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE]	DATE 09/10/2018	REVISION DA-A SKETCH DESIGN ISSUE	DATE 14/06/2018	REVISION DA-A SKETCH DESIGN ISSUE
	PROJECT UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY	STAGE DEVELOPMENT APPLICATION	TITLE ALTS & ADDS TO EXISTING APARTMENT	ISSUE B	ISSUE B	ISSUE B	ISSUE B	ISSUE B	ISSUE B	ISSUE B	ISSUE B	ISSUE B	ISSUE B

NOTES
 FOR DEVELOPMENT APPLICATION ONLY
 NOT FOR CONSTRUCTION
 This drawing is to be read in conjunction with other construction drawings and reports.
 All work shall be carried out in accordance with the relevant standards.

BASIX / MATHERS CERTIFICATION
 SW01 | external louvreblind (adjustable)
 SW02 | external louvreblind (adjustable)
 SW03 | external louvreblind (adjustable)
 SW04 | external louvreblind (adjustable)

0 2 4 6 8 10 12 M




- ▲ LEVEL MARK
- TELETYPE
- WATER METER
- APPROX. CONCRETE
- WATER POINT
- STOP VALVE
- WATER ACCESS CHAMBER
- ELECT. LIGHT FIXTURE
- ELECT. METER
- GULLY PIT
- POWER POLE
- TELETYPE
- DOWNWATER

CRACKNELL & LONERGAN
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NSW Architects Registration No. 5983

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email@cracknellorgan.com.au

ARCHITECT

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

Drawings to be read in conjunction with other consultants drawings and reports.
All work is based on the latest information from the project team.

BASEX / MATTERS CERTIFICATION

sw01 | external louvreblind (adjustable)
sw02 | external louvreblind (adjustable)
NE01 | external louvreblind (adjustable)

DATE	REVISION	TITLE	SITE ANALYSIS PLAN
14/06/2018	DA-A SKETCH DESIGN ISSUE	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
08/10/2018	DA-A SKETCH DESIGN ISSUE	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
07/03/2019	DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE]	STAGE	DEVELOPMENT APPLICATION
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	CLIENT	MR. PATRICK LANE
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	SCALE	1:200 @A3, 1:100@A1

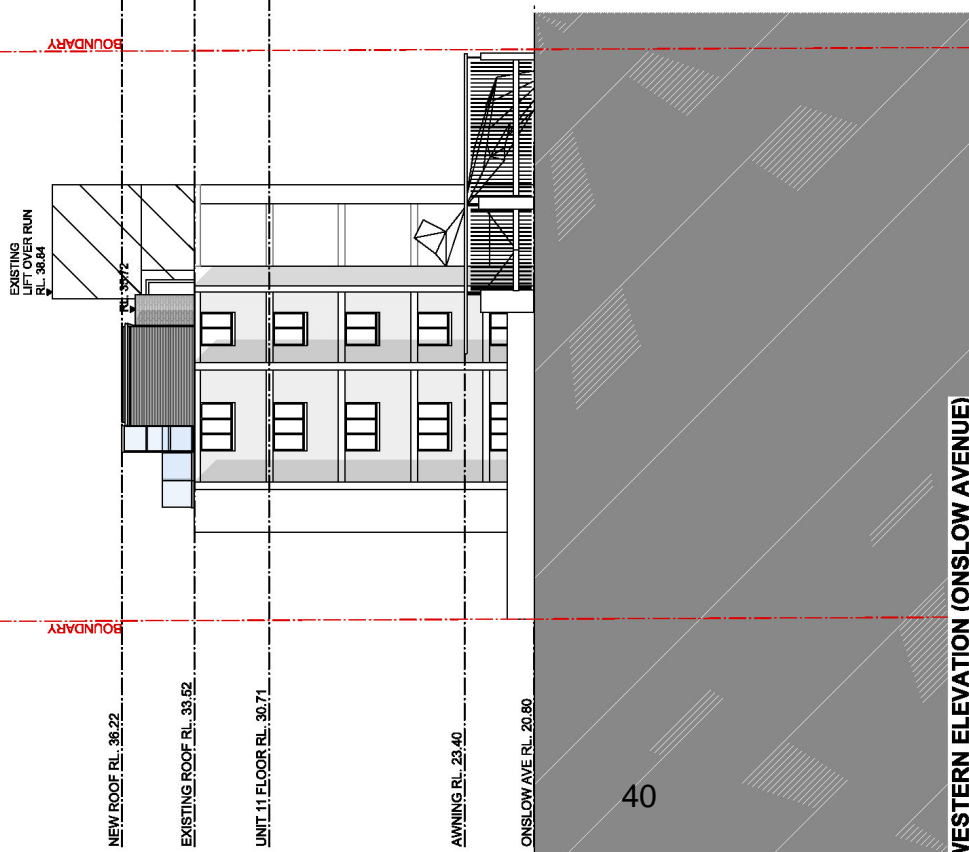
DA
003

ISSUE
B

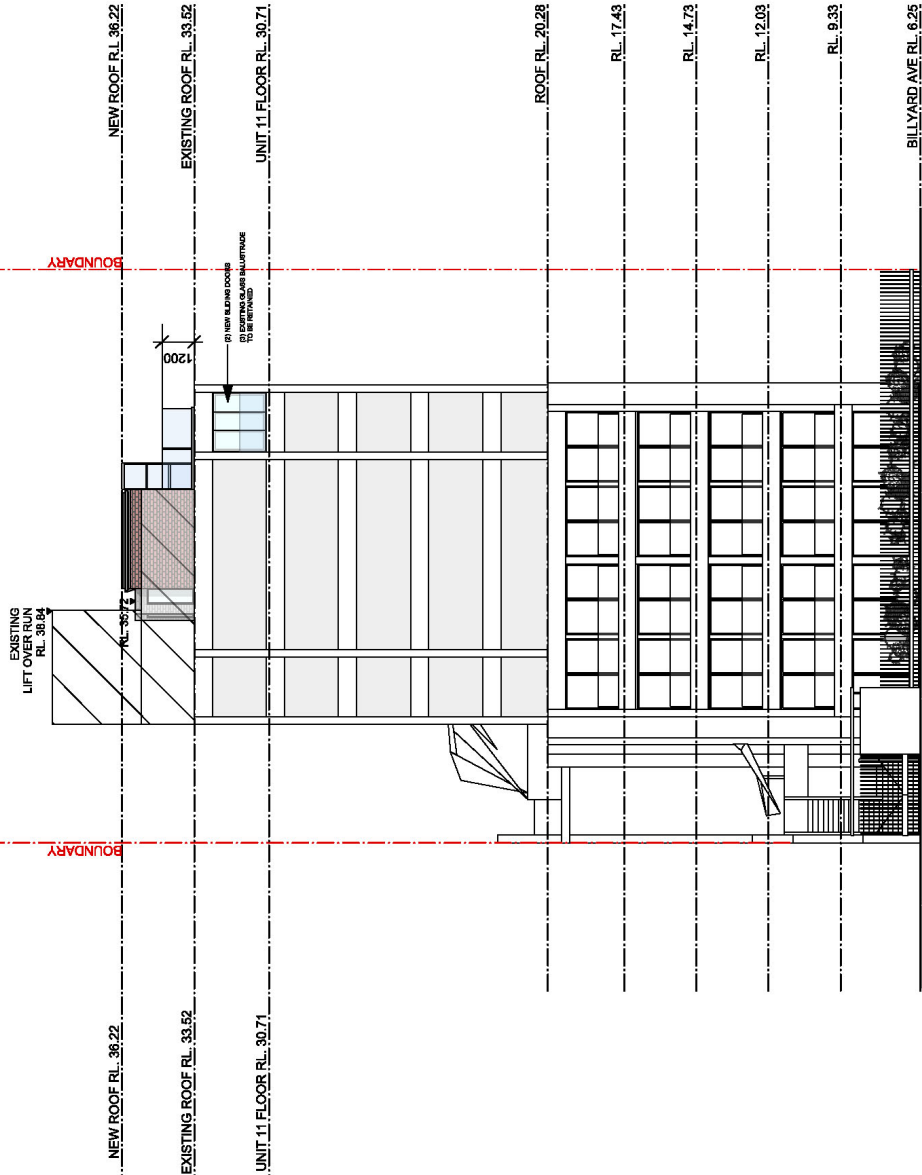
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22M LEP HEIGHT LINE

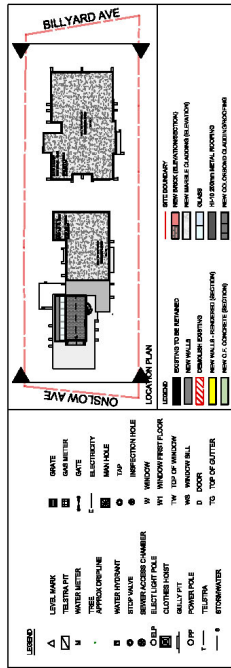
22M LEP HEIGHT LINE



WESTERN ELEVATION (ONSLAW AVENUE)



EASTERN ELEVATION (BILLYARD AVENUE)



ARCHITECT



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email@cracknellonergan.com.au

BASIX / MATTERS CERTIFICATION

SW40 | external louvreblind (adjustable)
SW52 | external louvreblind (adjustable)
NE52 | external louvreblind (adjustable)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION
This report is to be used in conjunction with other consultants drawings and reports. It is not to be used in isolation.
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REVISION

DATE	REVISION
07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI

TITLE

ELEVATIONS EAST AND WEST
PROJECT ALTS & ADDS TO EXISTING APARTMENT
ADDRESS UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE DEVELOPMENT APPLICATION
CLIENT MR. PATRICK LANE

REVISION

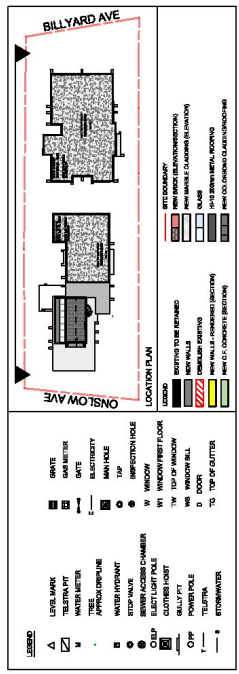
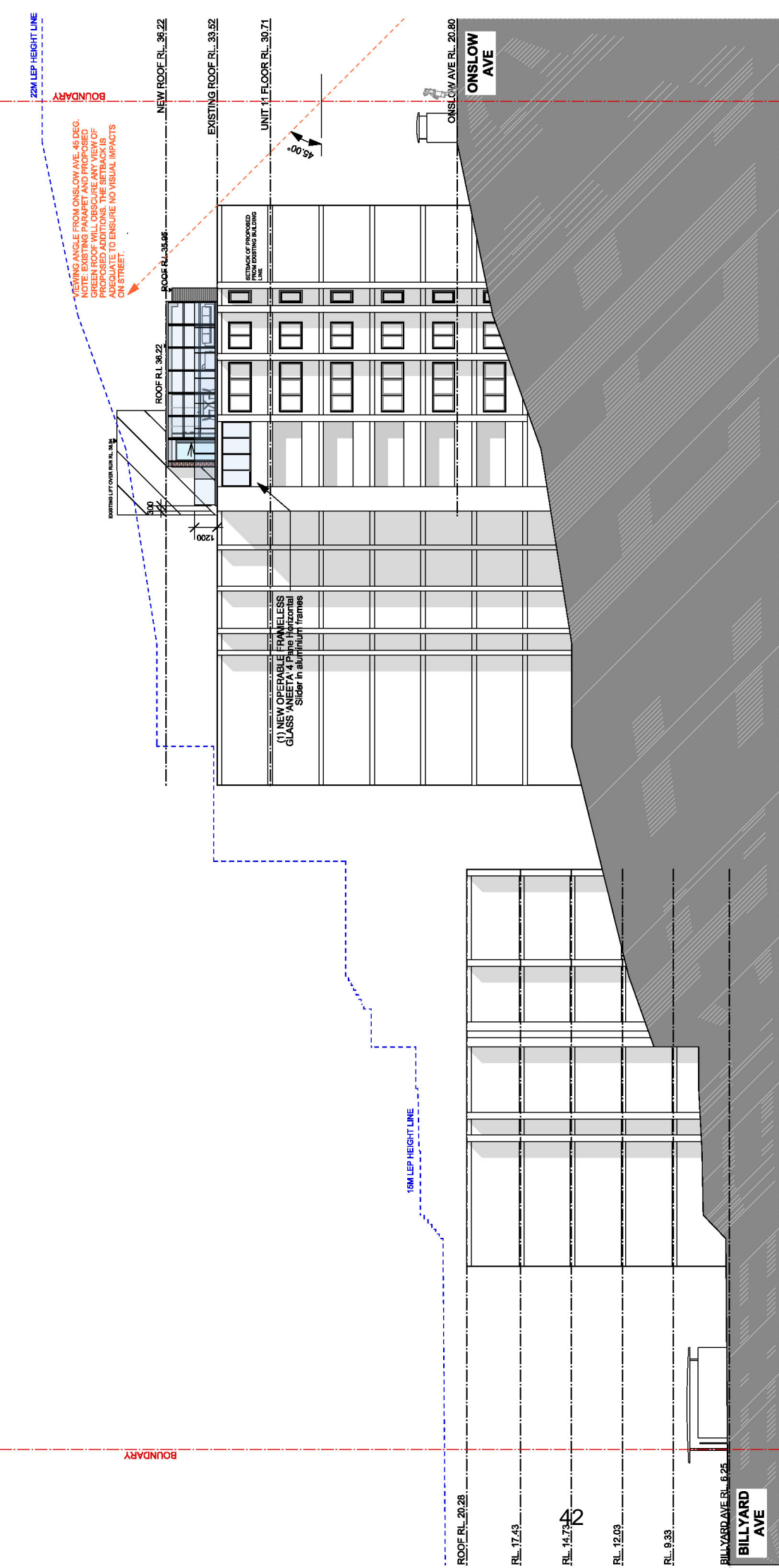
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DRAWN BY [CL/JC]

ISSUE

ISSUE C

DA 201

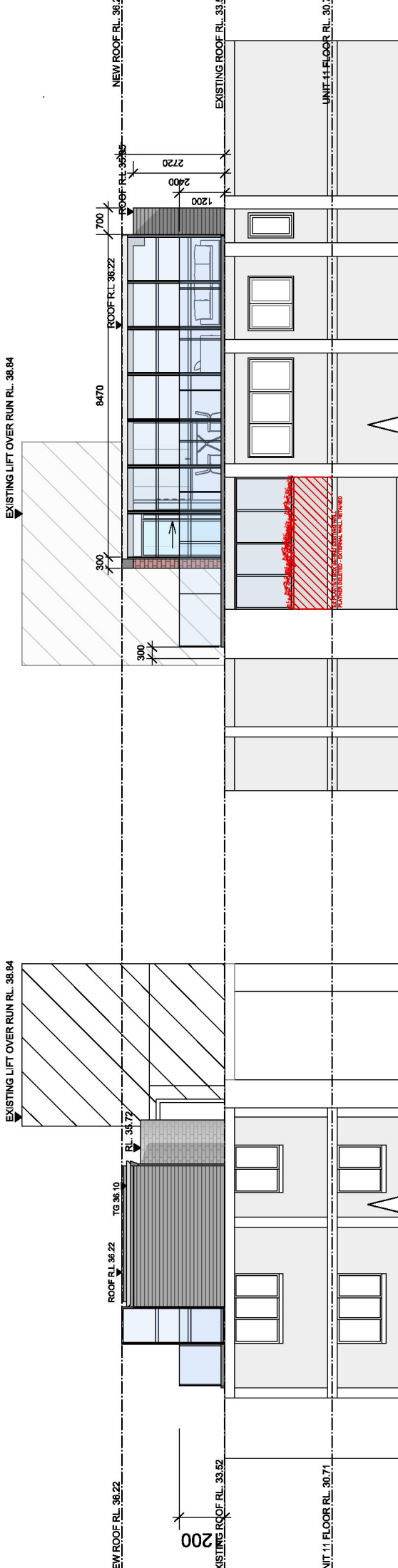
DA 201



DATE	REVISION	TITLE	ELEVATION NORTH
07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	STAGE	DEVELOPMENT APPLICATION
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	CLIENT	MR. PATRICK LANE

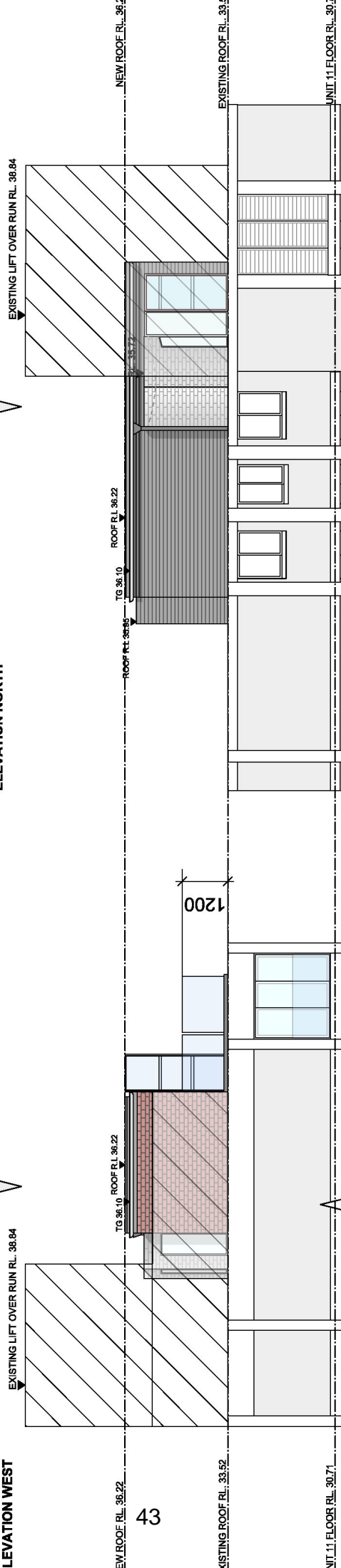
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ISSUE	C
SCALE	1:200 @A3, 1:100@A1
DRAWN BY	[CL/JC]

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
 ARN 55 100 940 501 | SW-01 | external louvreblind (adjustable)
 New South Wales | NSW Architects Registration No. 5993 | internal louvreblind (adjustable)
 156A CHURCH STREET | NEWTOWN NSW 2042 | external louvreblind (fixed)
 PHONE +61 2 9565 1554 | email@cracknellonergan.com.au | internal louvreblind (fixed)



ELEVATION NORTH

ELEVATION SOUTH



ELEVATION WEST

ELEVATION EAST

LEGEND

- ▲ LEVEL MARK
- TELETRA FIT
- WATER METER
- ELECTRICITY
- AIR CONDITIONING
- MAN HOLE
- WATER POINT/UNIT
- STEP VALVE
- BENTON ACCESS CHAMBER
- ELECTRIC LIGHT PULL
- TELEPHONE
- TELETRA
- STOPWATER

LOCATION PLAN

LEGEND

- SITE BOUNDARY
- NEW WORK ELEVATION/STRUCTURE
- EXISTING WORK ELEVATION/STRUCTURE
- NEW WORK EXISTING FOUNDATION
- EXISTING WORK EXISTING FOUNDATION
- NEW WALL EXISTING FOUNDATION
- NEW WALL EXISTING FOUNDATION
- NEW WALL EXISTING FOUNDATION
- NEW WALL EXISTING FOUNDATION
- NEW WALL EXISTING FOUNDATION

DATE	REVISION	TITLE	DETAIL ELEVATIONS
07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	STAGE	DEVELOPMENT APPLICATION
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	CLIENT	MR. PATRICK LANE

NOTES

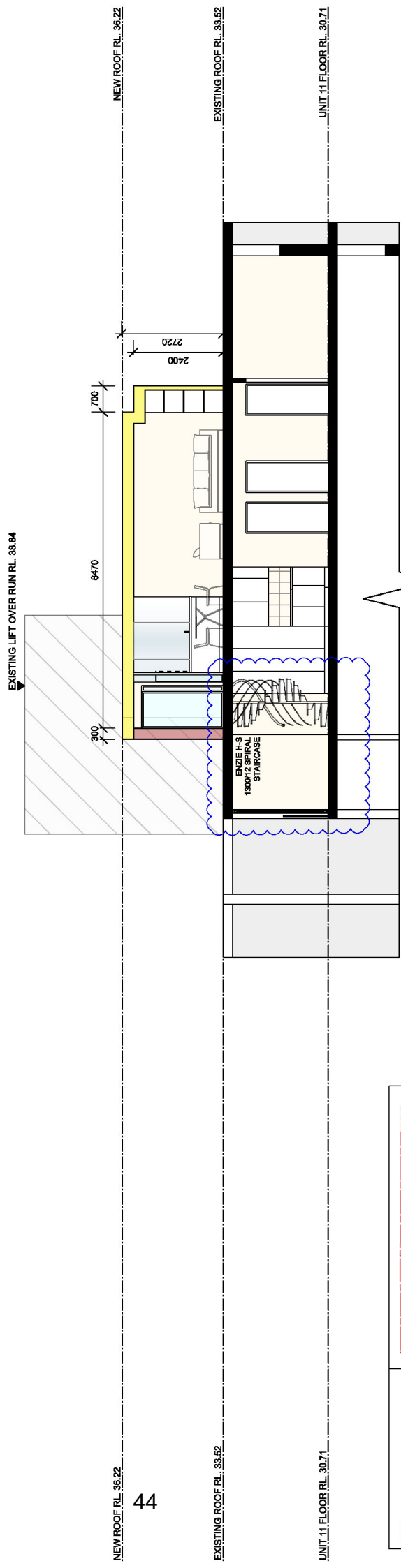
FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

Refer to all other drawings for details and materials. All work to be done in accordance with the contract documents and specifications. All work to be done in accordance with the contract documents and specifications. All work to be done in accordance with the contract documents and specifications.

BASIX / MATERS CERTIFICATION

ABN 55 100 940 501 | SW40 | external louvreblind (adjustable)
 Newbed Architecture Pty Ltd | SW42 | external louvreblind (adjustable)
 NSW Architects Registration No. 5967 | NSW | external louvreblind (adjustable)

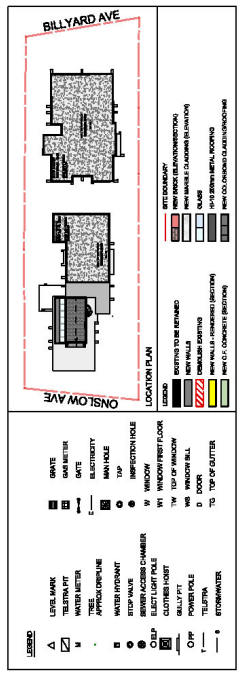
156A CHURCH STREET
 NEWTOWN NSW 2042
 PHONE +61 2 9565 1654
 email@cracknellonergan.com.au



SECTION A-A

EXTENT OF NEW WORKS WHICH AFFECTS AREA OF EXISTING UNIT 11 TO ONSLAW EX. ROOF LEVEL

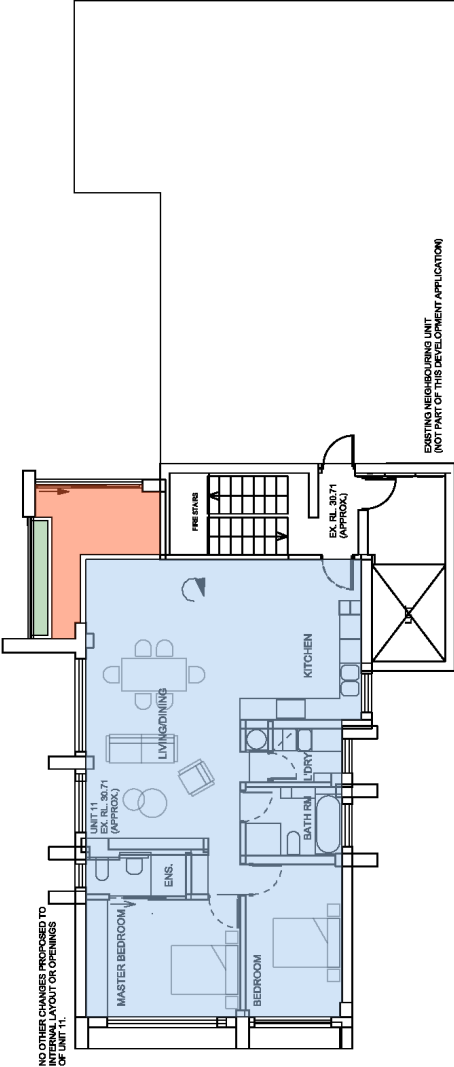
ENCLOSURE OF EXISTING BALCONY W/ SLIDING GLASS DOORS BEHIND EXISTING GLASS BALUSTRADE.



DA	SECTION A-A	TITLE	REVISION	DATE
301	ALTS & ADDS TO EXISTING APARTMENT	PROJECT	07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)
ISSUE	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY	ADDRESS	13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE
C	DEVELOPMENT APPLICATION	STAGE	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
	MR. PATRICK LANE	CLIENT	13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
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		DRAWN BY		[CL/JC]

NOTES	FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION	
Drawings are to be read in conjunction with other consultants drawings and reports.	
Drawings are based on the latest contract form (to be used as a guide).	

CRACKNELL & LONERGAN ARCHITECTS PTY LTD	BASIX / MATTERS CERTIFICATION								
AR.N. 55 100 940 507 Newcastle Area based firm NSW Architects Registration No. 5993	SW101 external louvreblind (adjustable) SW102 external louvreblind (adjustable) SW103 external louvreblind (adjustable) SW104 external louvreblind (adjustable)								
156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1654 email@cracknellonergan.com.au	<table border="1"> <tr> <td>SW101</td> <td>SW102</td> <td>SW103</td> <td>SW104</td> </tr> <tr> <td>SW101</td> <td>SW102</td> <td>SW103</td> <td>SW104</td> </tr> </table>	SW101	SW102	SW103	SW104	SW101	SW102	SW103	SW104
SW101	SW102	SW103	SW104						
SW101	SW102	SW103	SW104						



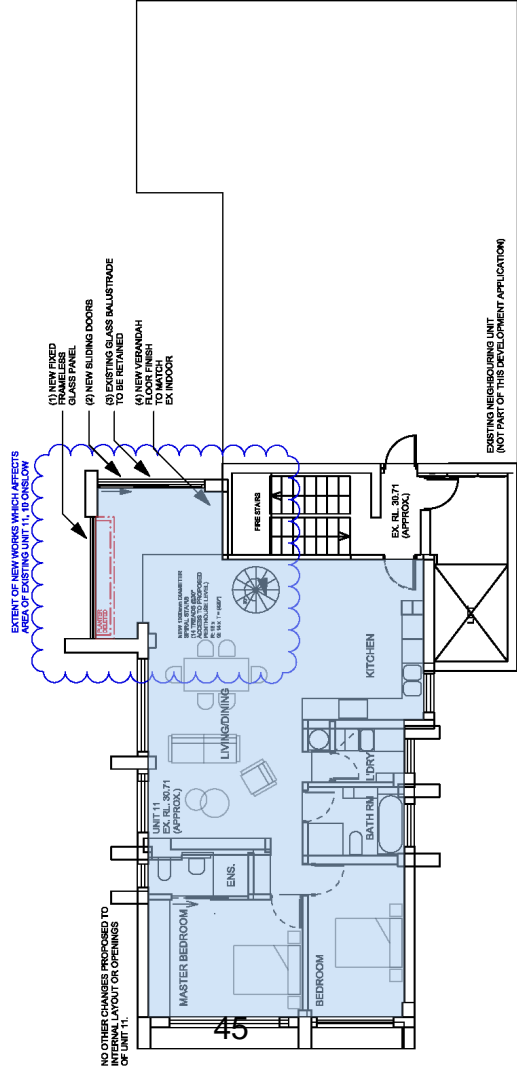
EXISTING NEIGHBOURING UNIT (NOT PART OF THIS DEVELOPMENT APPLICATION)

GROSS FLOOR AREA (GFA): 94.5 sqm

TERRACE (BALCONY): 8.1 sqm

GREEN / PLANTER: 1.3 sqm

EXISTING AREA CALCULATION



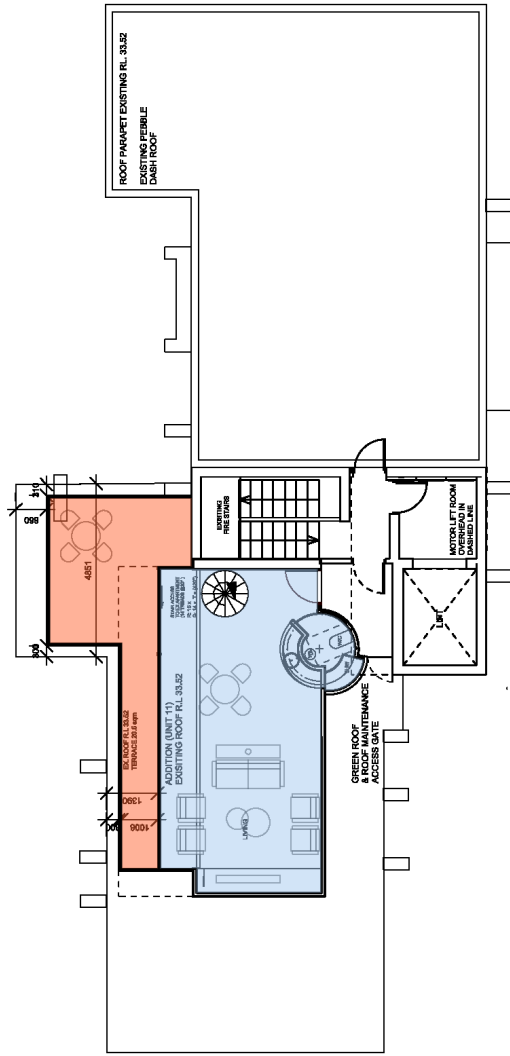
EXISTING NEIGHBOURING UNIT (NOT PART OF THIS DEVELOPMENT APPLICATION)

GROSS FLOOR AREA (GFA): 146.8 sqm

TERRACE (BALCONY): 20.5 sqm

GREEN / PLANTER: 0 sqm

PROPOSAL AREA CALCULATION



EXISTING SITE GFA (APPROXIMATION BY SURVEY/STRATA PLAN): 2942.9 sqm

EXISTING SITE AREA (BY SURVEY): 1464.0 sqm

EXISTING FSR: 2.01:1

PROPOSED ADDITIONAL GFA: 52.3 sqm

PROPOSED FSR: 2.05:1

PERMISSIBLE FSR: 4.5:1

DATE	REVISION	TITLE	AREAS CALCULATION SCHEDULE
07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	STAGE	DEVELOPMENT APPLICATION
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	CLIENT	MR. PATRICK LANE

ARCHITECT	CRACKNELL & LONERGAN ARCHITECTS PTY LTD	ARCHITECT	CRACKNELL & LONERGAN ARCHITECTS PTY LTD
ABN 55 100 940 501	156A CHURCH STREET	ABN 55 100 940 501	156A CHURCH STREET
New South Wales	NEWINGTON NSW 2042	New South Wales	NEWINGTON NSW 2042
NSW Architects Registration No. 5992	PHONE +61 2 9565 1654	NSW Architects Registration No. 5992	PHONE +61 2 9565 1654
NSW	email@cracknellonergan.com.au	NSW	email@cracknellonergan.com.au

DATE	REVISION	TITLE	AREAS CALCULATION SCHEDULE
07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	STAGE	DEVELOPMENT APPLICATION
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	CLIENT	MR. PATRICK LANE

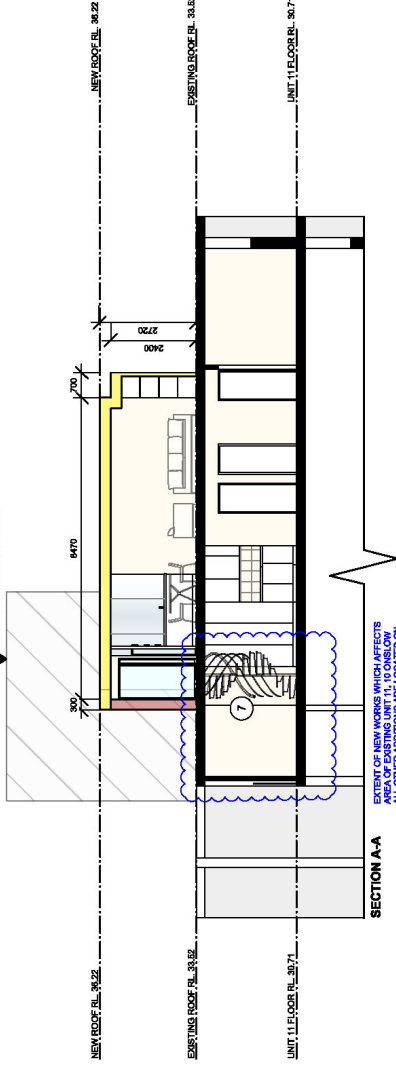
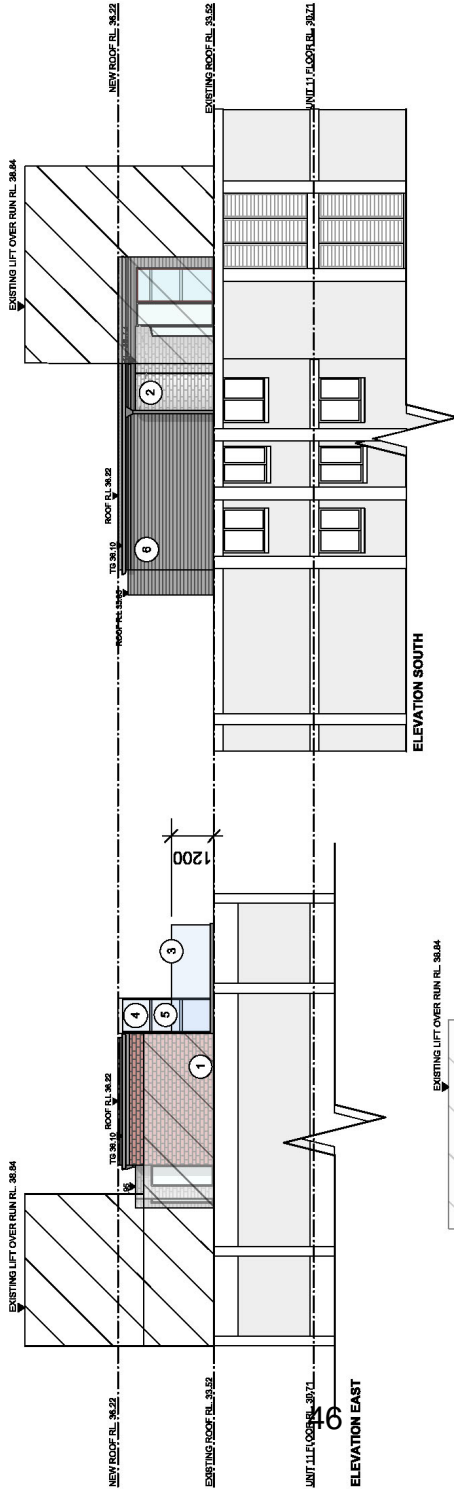
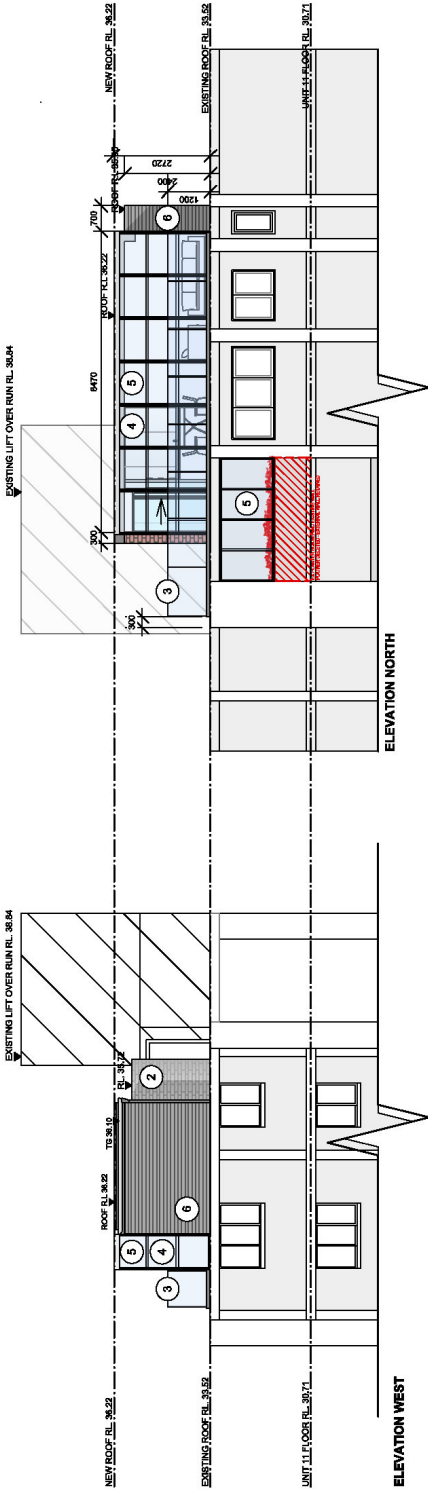
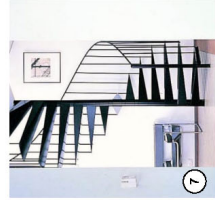
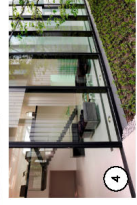
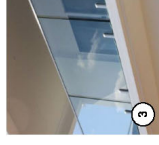
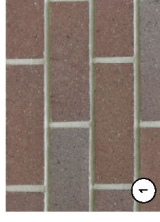
DA	401	ISSUE	C
DA	401	ISSUE	C

SCALE	DRAWN BY	[CL/H/C]
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FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION
This document is to be read in conjunction with other consultants drawings and reports.
Wherever based on third party information, the accuracy of the information is not guaranteed.

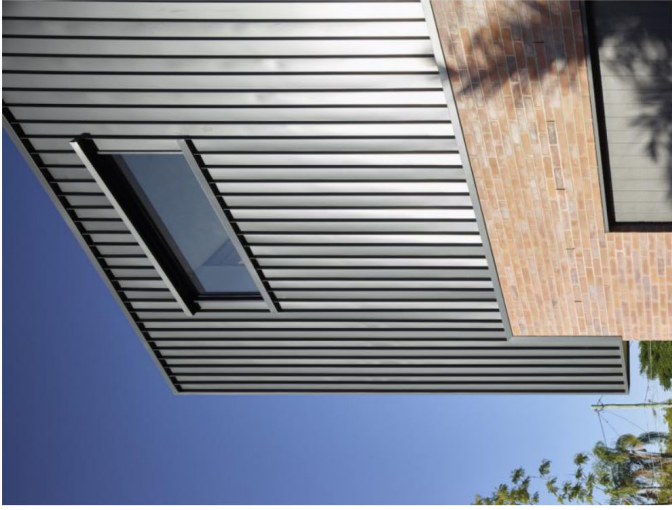
MATERIAL FINISHES

- 1 EXISTING BRICK WALL**
Retain for common wall between fire stairs and penthouse extension.
- 2 TILED FACADE CLADDING**
RHEINZINK Tile System - 'pre-PATINA graphite-grey'
- 3 GLASS BALUSTRADE W/ BRUSHED STAINLESS STEEL TOP RAIL (NATURAL FINISH)**
- 4 ALUMINIUM FRAMED WINDOWS & GLASS DOORS - COLOUR TO MATCH 'WINDSPRAY' GREY CLADDING**
- 5 FRAMELESS GLASS - ANEETA SASHLESS WINDOW/DOOR**
- 6 COLORBOND METAL CLADDING AND ROOFING**
'Windspray'
- 7 SPIRAL STAIRCASE (INTERNAL)**
Enzie Spiral Staircase Classic H Series
- 8 Helioscreen System (BASIX - External Blinds)**

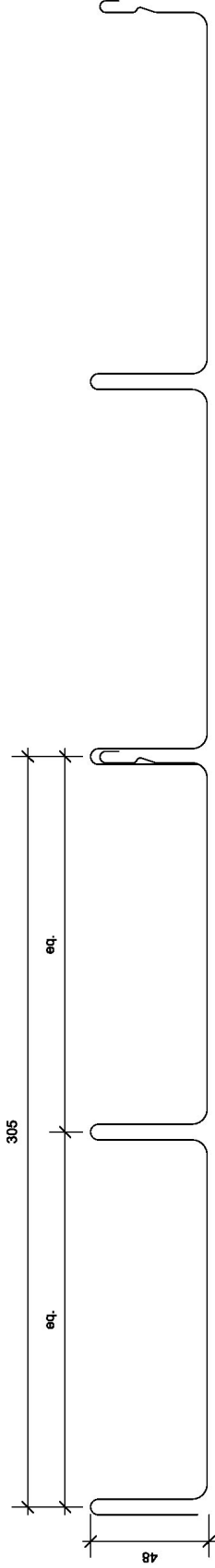


HELIOSCREEN INTEGRATED RETRACTABLE EXTERNAL BLINDS (SCREEN: TRANSLUCENT) TO COMPLY W/ BASIX SOLAR PERFORMANCE REQUIREMENTS

ARCHITECT	CRACKNELL & LONERGAN ARCHITECTS PTY LTD	ARBN 55 100 940 501	NSW 01	external louvreblind (adjustable)	NSW 02	external louvreblind (adjustable)	NSW 03	external louvreblind (adjustable)	
156A CHURCH STREET NEW TOWN NSW 2042 PHONE +61 2 9555 1554 email@cracknellorgan.com.au									
DA 603	ISSUE C	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This document is to be used in conjunction with other consultants drawings and reports. It is not to be used for any other purpose without the written consent of Cracknell & LonerGAN Architects.							
ARCHITECT	CRACKNELL & LONERGAN ARCHITECTS PTY LTD	DATE	07/03/2019	REVISION	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)	TITLE	MATERIALS & FINISHES SCHEDULE	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ARCHITECTS	CRACKNELL & LONERGAN ARCHITECTS PTY LTD	DATE	13/06/2019	REVISION	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	ADDRESS	UNIT 11, 10 ONSLow AVE, ELIZABETH BAY	STAGE	DEVELOPMENT APPLICATION
ARCHITECTS	CRACKNELL & LONERGAN ARCHITECTS PTY LTD	DATE	22/10/2019	REVISION	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	CLIENT	MR. PATRICK LANE	SCALE	1:150@A3 : 1:75 @A4
ARCHITECTS	CRACKNELL & LONERGAN ARCHITECTS PTY LTD	DATE	13/01/2019	REVISION	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	CLIENT	MR. PATRICK LANE	SCALE	1:150@A3 : 1:75 @A4



VISUAL EXAMPLES - STANDING SEAM DETAILING
 300 MM WIDE PANELS, 150 MM PROFILE
 COLORBOND STEEL - WINDSPRAY GREY
 FOR COLOUR SAMPLE & REFLECTIVE INDEX,
 REFER TO PHYSICAL MATERIALS PANEL



PROPOSED STANDING SEAM STEEL PROFILE - SCALE 1:2 @ A3, 1:1 @ A1



ARCHITECT



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&
LONERGAN**
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BASIX / MATHERS CERTIFICATION

sws01 | external louvreblind (adjustable)
 sws02 | external louvreblind (adjustable)
 nsw01 | external louvreblind (adjustable)

NOTES

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 NOT FOR CONSTRUCTION
 This drawing is to be used in conjunction with other consultants drawings
 and reports.
 All work shall be based on the latest contract form published by the relevant authority.

REVISION

DATE	REVISION
14/06/2018	DA-A SKETCH DESIGN ISSUE
09/10/2018	DA-A SKETCH DESIGN ISSUE
07/08/2019	DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE]
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI

TITLE

PROJECT	MATERIALS & FINISHES - CLADDING DETAIL
ADDRESS	ALTS & ADDS TO EXISTING APARTMENT
STAGE	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
CLIENT	DEVELOPMENT APPLICATION
SCALE	MR. PATRICK LANE

DA

604

ISSUE

B

[CL/H/C]

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